



424 N. Sappington Road Glendale, Missouri 63122 (314) 965-3600 fax (314) 965-4772

APPLICATION FOR ARCHITECTURAL REVIEW BOARD

APPLICATION DATE 9/1/2023 DATE OF ARB MEETING 9/13/2023 ESTIMATED COST \$600k

PROJECT ADDRESS 1 Armstrong Dr. GLENDALE, MO 63122

NAME OF PROPERTY OWNER Brent and Heather Dalrymple PHONE NUMBER 314.

CONTRACTOR (NAME) PK Construction PHONE NUMBER 314-692-8383

CONTRACTOR ADDRESS 9300 Diekmann Industrial Dr. Olivette, MO 63132

ARCHITECT (NAME) Studio Lark PHONE NUMBER 314-698-2024

ARCHITECT ADDRESS 12205 Old Big Bend Rd. Kirkwood, MO 63122

DETAILED DESCRIPTION OF WORK BEING PROPOSED: Renovation and addition of new garage and Media Room. Existing garage to be removed.

FLOOR AREA RATIO 23.4% (FAR = Floor area divided by total area of lot. Floor area includes all areas provided with heat and/or air conditioning. All living space with ceiling heights of sixteen (16) feet or greater shall be counted at 200%. Attached garages shall be counted at 50%. Exclude any finished or unfinished basement, a detached garage, and any unenclosed porch).

TOTAL FLOOR AREA OF NEW CONSTRUCTION (SQ. FT.) 1,568 GSF (includes 677 sf garage)

TOTAL FLOOR AREA OF EXISTING STRUCTURE (SQ. FT.) 2,309 (excludes portions demold)

TOTAL SQ. FT. OF LOT 15,066 sf. WIDTH AND DEPTH OF LOT (FT.) 132' x 115'

HEIGHT OF STRUCTURE 23'-4" NUMBER OF STORIES 2

ESTIMATED COMMENCE DATE 10/1/2023 EST. COMPLETION DATE 4/1/2024

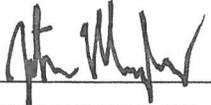
Each application shall be accompanied with payment of a fee as follows:

- Addition or Accessory Structure: \$150.00
New Home: \$200.00

Applications must also include 10 copies of the following items collated into individual packets. Packets not collated may be accepted for scheduling purposes, but will be returned to applicants for collation and are due no later than 12:00 p.m. one week prior to the scheduled ARB meeting. (Please check each item included):

(CHECKLIST ON REVERSE SIDE)

- 1. Existing and Proposed plot plan. Existing and finished or proposed contours to include property boundaries, setbacks and existing structures, and calculated FAR. The City reserves the right to request CAD files or any other information that may be needed to verify that FAR, setbacks, and other measurements are within required limits.
- 2. The location of the current and proposed impervious coverage (must include before and after lot drainage calculations).
- 3. The location of all downspouts and drainage pipes indicating where runoff will be taken. Differential runoff should be captured by a storm water system.
- 4. Proposed landscaping plan. Please see attached Landscape Plan Checklist for further detail. Trees in the public right-of-way must be protected with a fence, frame, or box if they are proximity of any excavation or construction. This "tree protection zone" must be indicated on the plans.
- 5. Floor plans to scale for all proposed structures.
- 6. Color photos of existing property and neighboring properties. For rear additions, include photos of rear yard and neighboring rear yards.
- 7. Provide building elevation of each face of structure to scale. For additions include full elevations of existing structures. Include a color elevation of at least one side of structure.
- 8. Provide information on type of materials that will be used on exterior façade of proposed structure. Provide at least one colored elevation to scale.

  
\_\_\_\_\_  
SIGNATURE OF APPLICANT

9/1/2023  
\_\_\_\_\_  
DATE

## LANDSCAPE PLAN CHECKLIST

The Architectural Review Guidelines, adopted by Ordinance 3-14, August 4, 2014, require Applicants to submit a landscape plan. The following checklist sets forth what must generally be included in the Applicant's submission to fulfill the requirement to submit a landscape plan:

1. Project title listing project name, owner name and name of firm or individual preparing the plan.
2. Scaled base plan using current information from the site development plan depicting existing and proposed grades, and showing final arrangements of all buildings and structures.
3. Location of all lot lines, building setbacks, and easements as depicted on the overall site plan.
4. North arrow.
5. Graphic and Written Scale.
6. Graphic legend depicting existing vegetation and proposed conditions.
7. Location of all improvements such as walks, patios, driveways, and walls shown on the site development plan.
8. Location of all existing and proposed utilities and sewers.
9. Location of all proposed sediment control devices.
10. Graphic depiction of all existing trees including location, types and caliper inch as measured at a Diameter Breast Height (DBH) of 4.5 feet above grade.
11. Graphic depiction of the accurate drip line canopy of all existing trees showing the extent of the critical root zone.
12. Clear designation and tabulation of all existing trees to be saved or preserved, removed or impacted.
13. Proposed tree protection and preservation measures for all saved and impacted trees depicted on plan.
14. Graphic depiction and plant schedule of all proposed trees to be planted including location, species and caliper inch as measured at a DBH of 4.5 feet above grade.
15. Graphic depiction and plant schedule of all proposed landscape plantings, shrubs, lawn areas and groundcovers.
16. Graphic depiction indicating limits of ground disturbance and all associated areas of lawn to be seeded or sodded upon project completion.



**Install and maintain tree protection fence as indicated on preservation plan for all trees marked SAVE. Silt protection shall be installed in a trenchless manner if introduced within the critical root zone of any tree to be SAVED. ( I.E woodchips, wattles, and hay bales)**

I hereby certify that I have viewed the premises and provided this professional opinion regarding the survivability of significant trees on this site and abutting the site. Attached is a site plan illustrating the recommended location of tree protection fencing. This fence is to remain erect throughout the construction project . All tree inspections were performed from the ground and are limited in scope. Tree and utility locations are approximate and locations of utilities are subject to change.

Craig R. Murphy  
I.S.A Certified Arborist  
IL-9645A



TREE STUDY  
SITE PLAN REVIEW  
8-25-2023

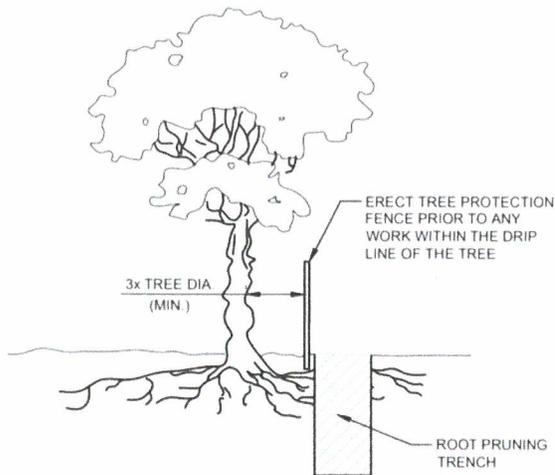
PROPERTY LOCATION: 1 Armstrong

#	TREE SPECIES	D B H	PRESERVE/ TBR/ INSTALL	ADJOINING LOT	COMMENTS	VALUE	COND %	TOTAL CANOPY SQ FT
A	river birch	4x9"	PRESERVE		multi-stemmed, compartmentalized pruning wounds	\$1785	74	572
B	river birch	3x9"	PRESERVE		multi-stemmed, girdling roots, minor deadwood	\$1230	68	429
C	sweet gum	34"	PRESERVE		burl on trunk, deadwood, compartmentalized pruning wounds	\$5485	65	2043
D	pin oak	32"	PRESERVE		co-dominant at 25', deadwood leaf galls	\$7675	63	1810
E	silver maple	18"	TBR		large wound with decay on back of trunk, storm damage <b>CONDITION/ NEW ELECTRIC SERVICE</b>	\$610	40	573
F	river birch	10"	TBR		dead <b>CONDITION</b>	\$20	2	177
G	ash	20"	TBR		trunk flare buckling driveway, girdling roots, deadwood <b>GRADING/ ACCESS</b>	\$1135	56	707
H	sycamore	12"	PRESERVE		minor leaf scorch	\$910	73	254
I	dogwood	4x8"	PRESERVE		multi-stemmed, deadwood, branch dieback, basal decay	\$1105	48	452

**Canopy coverage has been adjusted to reflect shared and overlapping crowns.**

Lot size	15,246 Sq ft
Current Canopy	7,017 Sq ft 46% Lot Coverage
Canopy Removed	1,457 Sq ft 21% Current Canopy Removed
Post Demo Canopy	5,560 Sq ft 36% Lot Coverage Remaining





NOTES

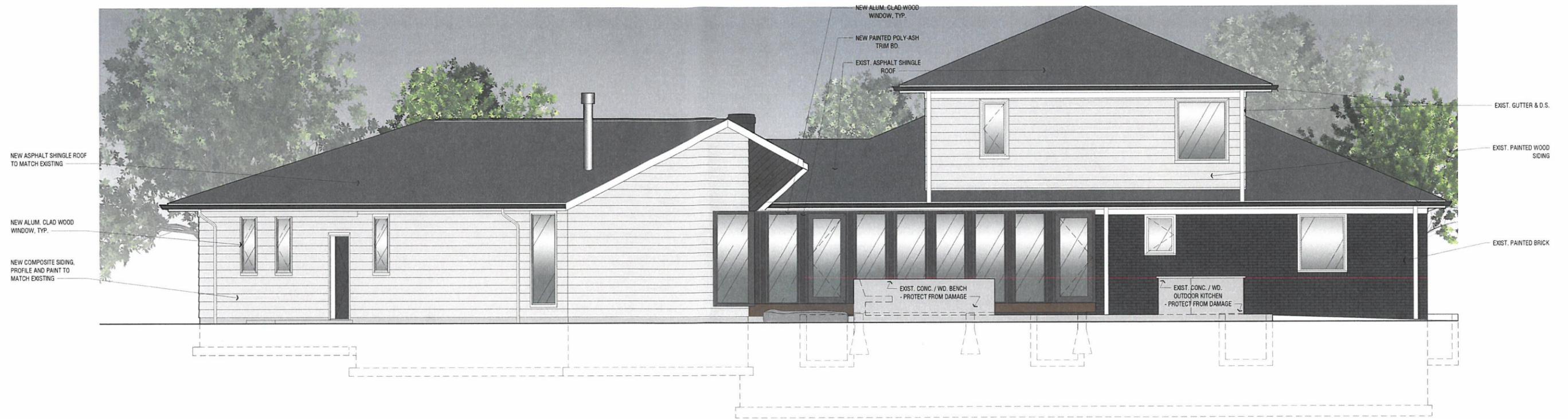
1. ROOT PRUNING SHALL BE DONE WHENEVER THERE WILL BE GRADING, CUTTING OR COMPACTION DISTURBANCE UNDERNEATH THE DRIP LINE OF A TREE. PRIOR TO ANY WORK WITHIN DRIP LINE, THE CONTRACTOR SHALL ERECT A TREE PROTECTION FENCE AND CONTACT AN ISA CERTIFIED ARBORIST TO COORDINATE WORK. NO DISTURBANCE SHALL BE DONE WITHIN A DISTANCE OF 3X THE DIAMETER OF THE TREE, DUE TO STABILITY CONCERNS.
2. ROOT PRUNING SHALL BE DONE WITH A SHARP TOOL, IN SUCH A WAY THAT DOES NOT PULL ON THE ROOTS, BUT LEAVES SMOOTH CUTS. DO NOT TEAR ROOTS WITH EXCAVATION EQUIPMENT. IT IS PREFERABLE TO EXPOSE THE ROOTS PRIOR TO ROOT PRUNING. AFTER PRUNING, FILL THE AREA WITH QUALITY TOPSOIL AND WATER UNTIL THOROUGHLY SOAKED.
3. ONCE EXPOSED, ROOTS MUST BE COVERED WITHIN 8 HOURS. IF ROOTS WILL BE LEFT EXPOSED FOR LONGER THAN 8 HOURS, THEY MUST BE KEPT MOIST. ONE OPTION IS TO PUT MOIST BURLAP OVER THE EXPOSED ROOTS.

NOTES (CONT.)

4. ROOT PRUNING SHALL MEET OR EXCEED ANSI A300 OR APPROVED TREE CARE INDUSTRY STANDARDS.

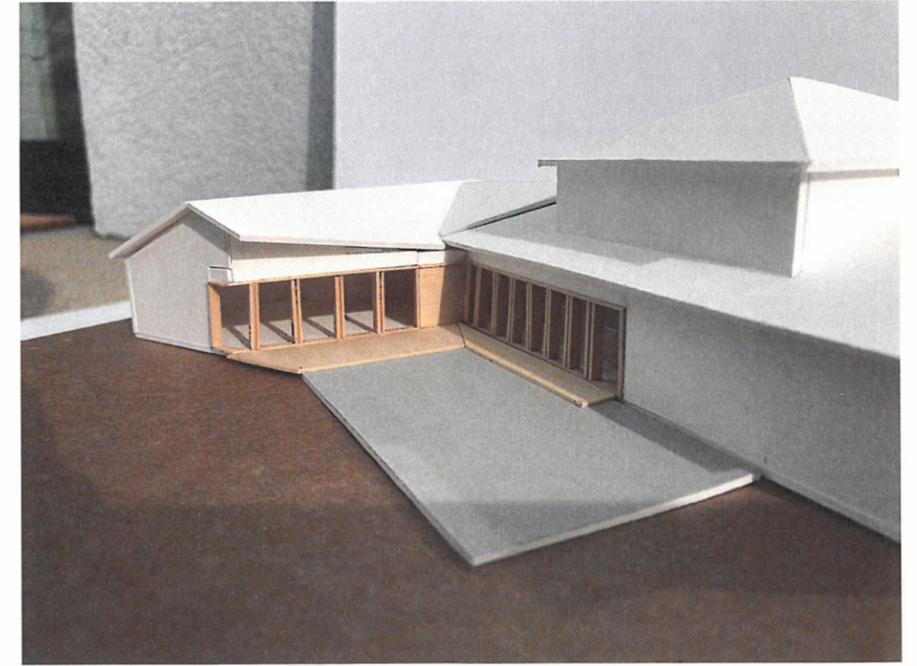
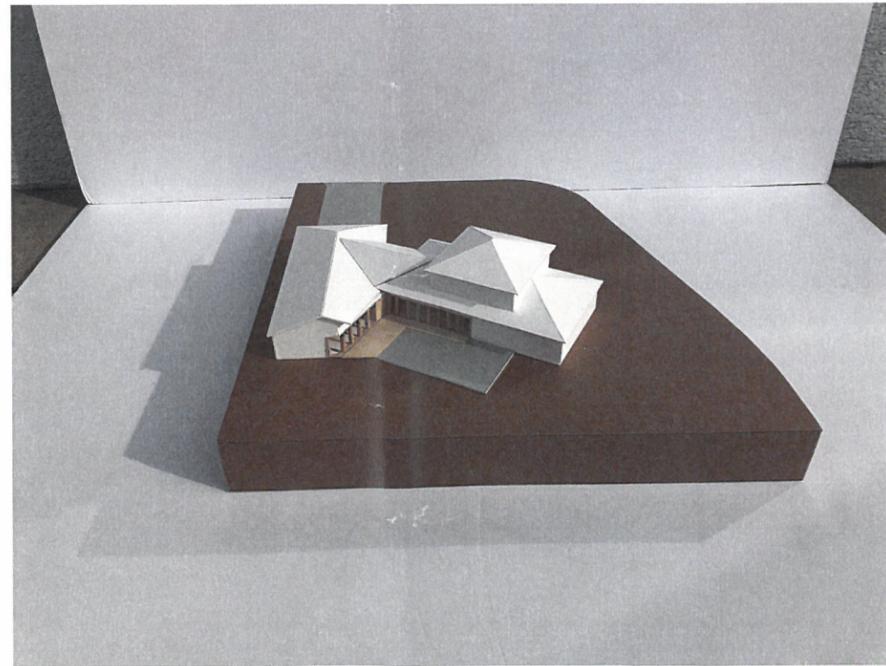
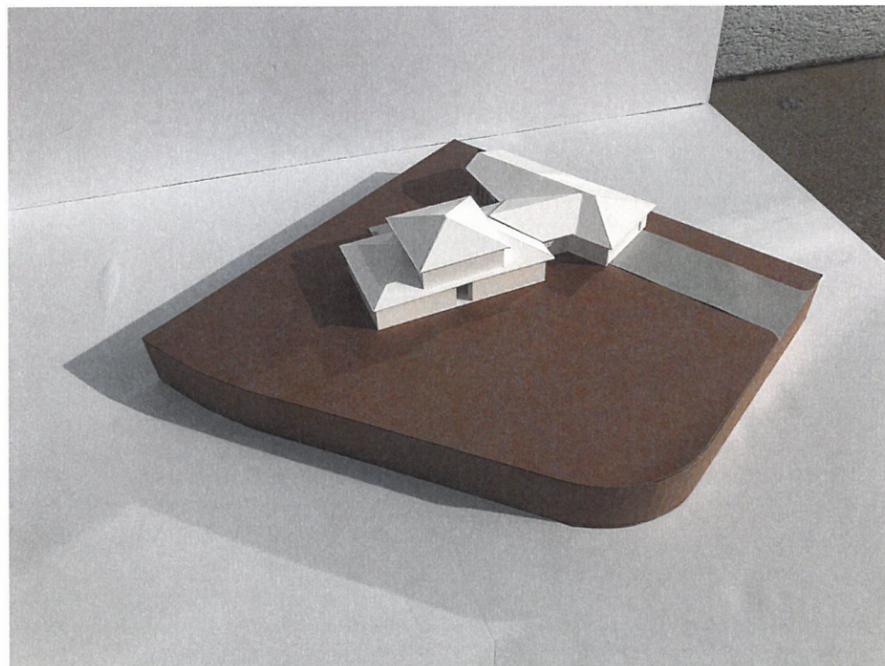
DIGGING PROCESS

1. THE PRUNING TRENCH SHOULD BE CLEARED IN A WAY THAT EXPOSES THE ROOTS WHILE LEAVING THEM INTACT.
  - 1.1. USE HAND TOOLS OR AN AIR KNIFE II) DO NOT USE AN EXCAVATOR, AS THIS WILL PULL ON THE ROOTS AND POSSIBLY DAMAGE THE TRUNK III) IF A ROOT LARGER THAN 2" IS EXPOSED, LEAVE THIS ROOT INTACT AND CONTACT LANDSCAPE SERVICES
  2. ONCE THE ROOTS ARE EXPOSED, USE A SHARP TOOL TO CLEANLY CUT ALL ROOTS WHICH ARE BETWEEN 1-2" DIAMETER, TO THE DEPTH OF THE PROPOSED DISTURBANCE
    - 2.1. APPROPRIATE TOOLS INCLUDE SHARP LOPPING SHEARS, HANDSAWS, A SHARPENED AXE, A ROOT PRUNER GRINDER, A RECIPROCATING SAW AND ANY OTHER SHARP TOOL WHICH LEAVES A CLEAN CUT
    - 2.2. YOU MAY NOT USE A CHAINSAW OR CHAIN TRENCHER TO MAKE THE FINAL CUTS
    - 2.3. ALL ROOTS SHALL BE LEFT WITH A CLEAN, SMOOTH ENDS AND NO RAGGED EDGES
3. POST PRUNING
  - 3.1. TREE ROOTS MUST BE KEPT MOIST. IF ROOTS ENDS WILL BE LEFT EXPOSED FOR MORE THAN 8 HOURS, COVER THE HOLE WITH MOIST BURLAP
  - 3.2. FILL THE HOLE WITH HIGH QUALITY TOP SOIL, MULCH THE AREA WITH TRIPLE SHREDDED HARDWOOD TO A DEPTH OF 3", AND WATER WELL.



REAR (WEST) ELEVATION

1/8" = 1'-0"





2 HILL DRIVE



1 ARMSTRONG DRIVE



3 ARMSTRONG DRIVE



VIEW TO BACK OF 2 HILL DRIVE



BACK OF 1 ARMSTRONG DRIVE



VIEW TO BACK OF 3 ARMSTRONG DRIVE

# DALRYMPLE RESIDENCE

## 1 ARMSTRONG DRIVE

### GLENDALE, MISSOURI 63122

## RESIDENTIAL ADDITION

VICINITY MAP:

NOT TO SCALE



PROJECT PHOTOS:

EAST ELEVATION OF RESIDENCE (ARMSTRONG DRIVE)



WEST ELEVATION (REAR YARD)



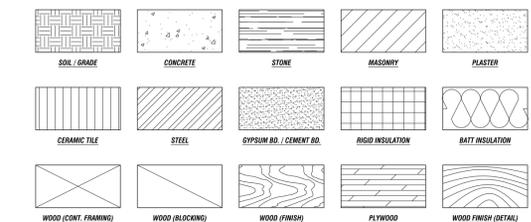
ABBREVIATIONS:

& L	AND ANGLE	DWG. DWR.	DRAWING DRAWER	KIT.	KITCHEN	R.O.	ROUGH OPENING
@	AT	E.	EAST	LAM.	LAMINATE	S.	SOUTH
⊕	CENTERLINE	EA.	EACH	LAV.	LAVATORY	SCH.	SCHEDULE
∅	DIAMETER OR ROUND	E.J.	EXPANSION JOINT	LT.	LIGHT	S.D.	SOAP DISPENSER
(E)	EXISTING	ELEV.	ELEVATION	SHF.	SHelf	SECT.	SECTION
	PARALLEL	ELEC.	ELECTRICAL	SHWR.	SHOWER	SHR.	SHRIMP
#	NUMBER OR POUND	ENCL.	ENCLOSURE	MAX.	MAXIMUM	SHT.	SHEET
+/-	PLUS OR MINUS	ENCL.GD.	ENLARGED	M.C.	MEDICINE CABINET	SIM.	SIMILAR
<	LESS THAN	E.P.	ELECTRICAL PANEL	MECH.	MECHANICAL	S.M.	SHEET METAL
>	GREATER THAN	EQ.	EQUAL	MEM.	MEMBRANE	SPEC.	SPECIFICATION
ACC.	ACOUSTICAL	EQUIP.	EQUIPMENT	MTL.	METAL	SO.	SQUARE
A.D.	AREA DRAIN	EXP.	EXPANSION	MFR.	MANUFACTURER	S.STL.	STAINLESS STEEL
ADJ.	ADJUSTABLE	EXPO.	EXPOSED	MIN.	MINIMUM	STND.	STANDARD
A.F.F.	ABOVE FINISHED FLOOR	EXIST.	EXISTING	MIR.	MIRROR	STOR.	STORAGE
APPROX.	APPROXIMATE	EXT.	EXTERIOR	MISC.	MISCELLANEOUS	STR.	STRUCTURAL
ARCH.	ARCHITECTURAL OR ARCHITECT	FA.	FIRE ALARM	M.O.	MASONRY OPENING	STR.	STRUCTURAL
ALUMN.	ALUMINUM			MNTD.	MOUNTED	SUSP.	SUSPENDED
ASPH.	ASPHALT			MUL.	MULLION		
BD.	BOARD			N.	NORTH	T.	TREAD
BITUM.	BITUMINOUS	FIXT.	FIXTURE	N.I.C.	NOT IN CONTRACT	T.B.	TOWEL BAR
BLDG.	BUILDING	F.D.	FLOOR DRAIN	NUM.	NUMBER	TEL.	TELEPHONE
BLK.	BLOCK	FNDTN.	FOUNDATION	NOM.	NOMINAL	T&G	TONGUE AND GROOVE
BLKG.	BLOCKING	F.E.	FIRE EXTINGUISHER	N.T.S.	NOT TO SCALE	THK.	THICK
BM.	BEAM	FIN.	FINISH	O.A.	OVERALL	T.O.	TOP OF
BOT.	BOTTOM	FLR.	FLOOR	OBS.	OBSCURE	T.O.P.	TOP OF PAVEMENT
		FLASH.	FLASHING	O/C	ON CENTER	T.O.S.	TOP OF SLAB
C/C	CENTER TO CENTER	F.O.	FACE OF	O.P.O.I.	OWNER PROVIDED / OWNER INSTALLED	T.O.W.	TOP OF WALL
CAB.	CABINET	FIN.	FINISH			T.F.F.	TOP OF FINISHED FLOOR
CEM.	CEMENT	FT.	FEET / FOOT			TV.	TELEVISION
C.I.	CAST IRON	FURR.	FURRING	O.P.C.I.	OWNER PROVIDED / CONTRACTOR INSTALLED OPPOSITE	TYP.	TYPICAL
C.I.P.	CAST IN PLACE			UNF.	UNFINISHED		
C.J.	CONTROL JOINT	GA.	GAUGE	U.O.N.	UNLESS OTHERWISE NOTED		
CLG.	CEILING	GALV.	GALVANIZED	OPP.	OPPOSITE		
CLKG.	CAULKING	GL.	GLASS	PART.	PARTICLE		
CLR.	CLEAR	GRND.	GROUND	PERP.	PERPENDICULAR	VERT.	VERTICAL
CMU	CONCRETE MASONRY UNIT	GRD.	GRADE	PL.	PLATE	W.	WEST
CNTR.	COUNTER	GYP.	GYP. BOARD	P-LAM.	PLASTIC LAMINATE	W.	WIDTH OR WIDE
COL.	COLUMN	GYP. BD.	GYP. BOARD	PLAS.	PLASTER	W/	WITH
CONC.	CONCRETE			PLUMB.	PLUMBING	W.C.	WATER CLOSET
CONN.	CONNECTION	HT.	HEIGHT			WD.	WOOD
CONSTR.	CONSTRUCTION	H.B.	HOSE BIB			W.O.	WINDOW OPENING
CONT.	CONTINUOUS	H.C.	HOLLOW CORE			WO	WITHOUT
CTR.	CENTER	HDCP.	HANDICAPPED	PLYWD.	PLYWOOD	WP.	WATERPROOF
CTSK.	COUNTERSINK	HDWD.	HARDWOOD	POL.	POLISHED	WT.	WEIGHT
		HDWR.	HARDWARE	PT.	PARTITION		
D.	DEPTH	H.M.	HOLLOW METAL	PTN.	PARTITION		
DBL.	DOUBLE	HORIZ.	HORIZONTAL			R.	RISER
DEPT.	DEPARTMENT	HR.	HOUR			RAD.	RADIUS
DEPT.	DEPARTMENT					R.D.	ROOF DRAIN
DET.	DETAIL	INSUL.	INSULATION			REF.	REFERENCE
DIA.	DIAMETER	INT.	INTERIOR			REFR.	REFRIGERATOR
DIM.	DIMENSION					REQD.	REQUIRED
DN.	DOWN					RESIL.	RESILIENT
D.O.	DOOR OPENER	JAN.	JANITOR			RM.	ROOM
DR.	DOOR	J-BOX	JUNCTION BOX				
D.S.	DOWNSPOUT	JNT.	JOINT				

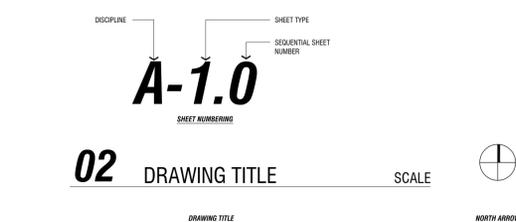
DRAWING SYMBOLS & TAGS:



MATERIAL SYMBOLS:



DRAWING IDENTIFICATION:



ARCHITECT

**STUDIO lark**  
ARCHITECTURE + INTERIOR DESIGN  
12205 Old Big Bend Rd.  
Kirkwood, Missouri 63122  
p. 314.698.2024  
e. info@studiolark.us  
www.studiolark.us  
Missouri State Certificate of Authority: A-2018027915

CLIENT

Brent & Heather Dalrymple  
1 Armstrong Drive  
Glendale  
Missouri, 63122

PROJECT

**Residential Addition**  
1 Armstrong Drive  
Glendale  
Missouri, 63122  
Project # - 2213

SEAL

Aaron Sannes, Architect - MO# A2014015044

ISSUE DATE

13 SEPT 2023

REVISIONS

Number	Description	Date
01	ARB SET	13 SEPT 2023

TITLE SHEET

SHEET

**T**

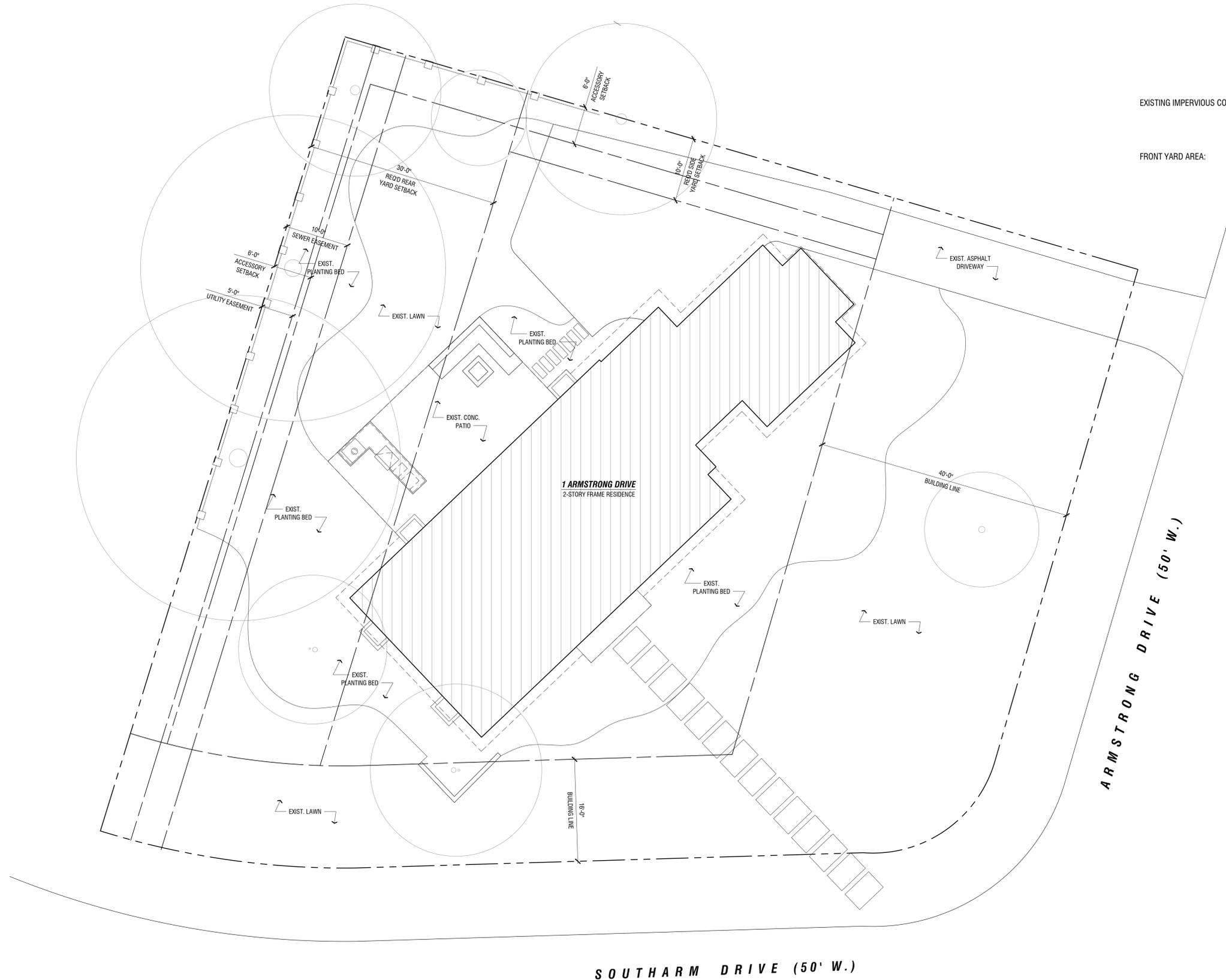
REVISION

**01**

SHEET SIZE

24" X 36"

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EXISTING IMPERVIOUS COVERAGE:	HOUSE / GARAGE ROOFS:	2,676 SF
	DRIVEWAY / WALKWAYS / PATIO:	2,210 SF
	TOTAL IMPERVIOUS:	4,886 SF
	<b>EXIST. IMPERVIOUS COVERAGE:</b>	<b>4,886 / 15,066 SF = 32.4%</b>
FRONT YARD AREA:	4,903 SF	

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 Aaron Serres, Architect - MO# A2016015044

ISSUE DATE  
 9 MAY 2023

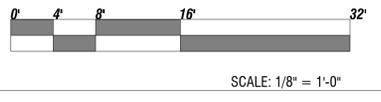
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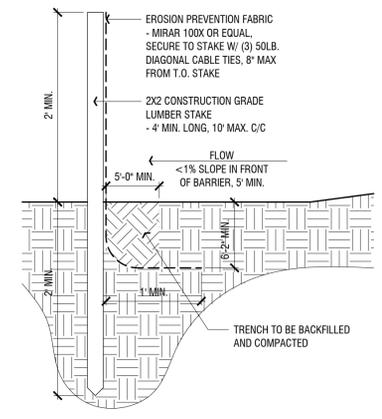
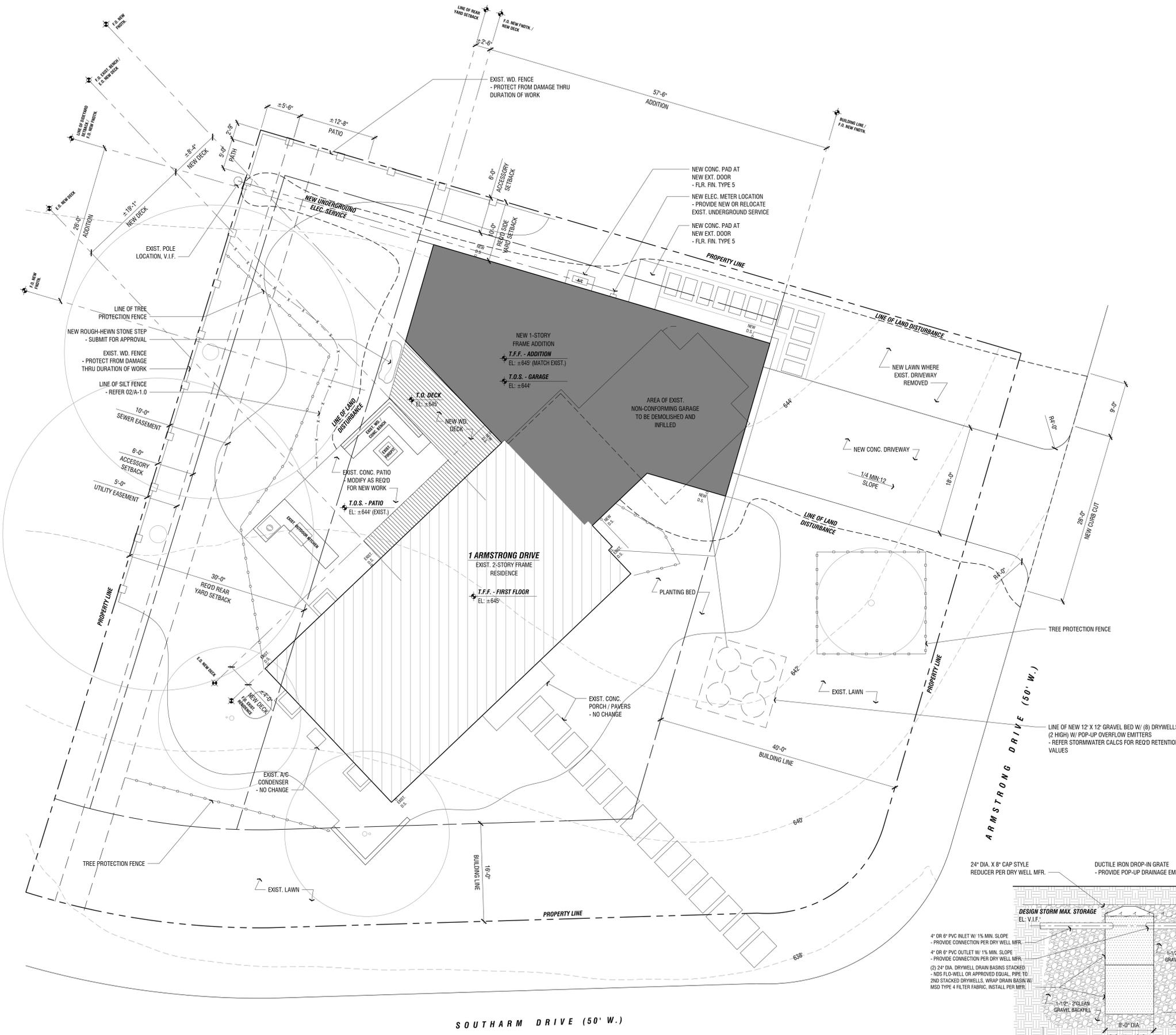
TITLE  
**EXISTING SITE PLAN**

SHEET  
**EC-1.0**  
 SHEET SIZE  
 24" X 36"

REVISION  
 01

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**IMPERVIOUS / GREENSPACE CALCULATIONS:**

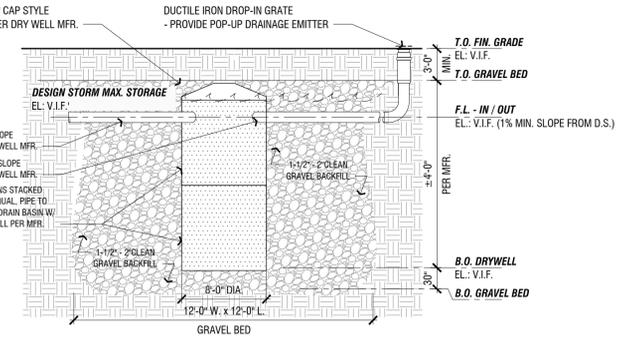
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	<b>EXIST. IMPERVIOUS COVERAGE:</b>	<b>4,886 / 15,066 SF = 32.4%</b>
PROPOSED IMPERVIOUS COVERAGE:	HOUSE / GARAGE ROOFS:	3,752 SF
	DRIVEWAY / WALKWAYS / PATIOS:	1,673 SF
	TOTAL IMPERVIOUS:	5,425 SF (NET 539 SF ADDED)
	<b>PROPOSED IMPERVIOUS COVERAGE:</b>	<b>5,425 / 15,066 SF = 36.0%</b>
FRONT YARD AREA:		4,903 SF
PROPOSED FRONT YARD IMPERV. COVERAGE:	OVERHANGS / DRIVEWAY / WALKWAYS:	539 SF
	<b>EXIST. IMPERVIOUS COVERAGE:</b>	<b>539 SF / 4,903 SF = 17.9%</b>
PROPOSED GREENSPACE AREA:		9,544 SF / 15,066 = 63.3% (MIN. REQUIRED 40%)
PROPOSED FRONT YARD GREENSPACE AREA:		3,911 SF / 4,903 = 79.8% (MIN. REQUIRED 50%)

**STORMWATER:**

**\*OWNER PROVIDING STORMWATER CAPTURE SYSTEM FOR NET IMPERVIOUS ADDED**

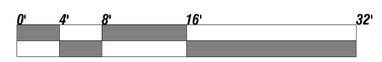
FLOW RATE (Q) OF NEW ROOF:	Q=API
CONTRIBUTING AREA (A):	539 SF (NEW IMPERVIOUS) / 15,066 SF
15YR - 20 MIN. PI FACTOR:	4.20
FLOW RATE (Q):	0.15

**DRYWELL SIZING:**  
 (15) (60s) (20 min.) = 180 cf OF WATER  
 180 cf / 40% ROCK WELL VOID = 450 cf ROCK DRYWELL  
 \*PROVIDE DRYWELLS PER SITE PLAN (01/A-1.0) & DETAIL (04/A-4.0)  
 TO RETAIN MIN. 180cf OF WATER WITH 450cf OF FILL



**CALCULATED DRYWELL CAPACITY:**

24" BASIN (2 x 1R x QTY 8) = 200gal	= 50.24cf
30" GRAVEL BASE x 12' x 12' @40% VOID	= 144.00cf
5' x 12' x 12' GRAVEL BACKFILL @40% VOID	= 267.90cf
TOTAL DRY WELL MITIGATION CAPACITY	= 462.14cf



SCALE: 1/8" = 1'-0"

**SITE NOTES:**

1. INFORMATION BASED ON SURVEYOR'S REAL PROPERTY REPORT BY JAMES SURVEYING COMPANY PERFORMED MAY 15, 2014.
2. CONTRACTOR TO VERIFY NEW WORK FALLS WITHIN BUILDABLE AREA PRIOR TO ANY WORK. VERIFY W/ ARCH. AS REQ'D.
3. PROVIDE SILTATION / EROSION CONTROL PRIOR TO BEGINNING WORK AS REQ'D TO CONTAIN EROSION ON SITE.
4. REFER TREE PRESERVATION PLAN BY FRONTIAC FORESTRY DATED XX JULY 2023 FOR TREE PROTECTION / PLANTING PLAN. CONTRACTOR TO INSTALL TREE PROTECTION PRIOR TO ALL WORK.
5. SEED & STRAW OR SOD LAWN ADJACENT TO WORK AREAS PRIOR TO FINAL INSPECTION AND/OR AT THE DIRECTION OF OWNER.
6. PROVIDE NEW UNDERGROUND ELECTRICAL SERVICE TO NEW METER. REFER SITE PLAN FOR LOCATION, VERIFY W/ ARCH.
7. NEW / EXISTING DOWNSPOUTS TO BE PIPED TO NEW DRYWELLS & SWALES. REFER SITE PLAN AND VERIFY W/ ARCH.

ARCHITECT

**STUDIOLARK**  
 ARCHITECTURE + INTERIOR DESIGN  
 12205 Old Big Bend Rd.  
 Kirkwood, Missouri 63122  
 p. 314.698.2024  
 e. info@studiolark.us  
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 Missouri, 63122

PROJECT

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 1 Armstrong Drive  
 Glendale  
 Missouri, 63122  
 Project #: 2213

SEAL

Aaron Serres, Architect - MO# A2014015044

ISSUE DATE

9 MAY 2023

REVISIONS

Number	Description	Date
01	BID SET	31 AUG 2023

**ARCHITECTURAL SITE PLAN**

SHEET

**A-1.0**

REVISION

01

SHEET SIZE

24" X 36"

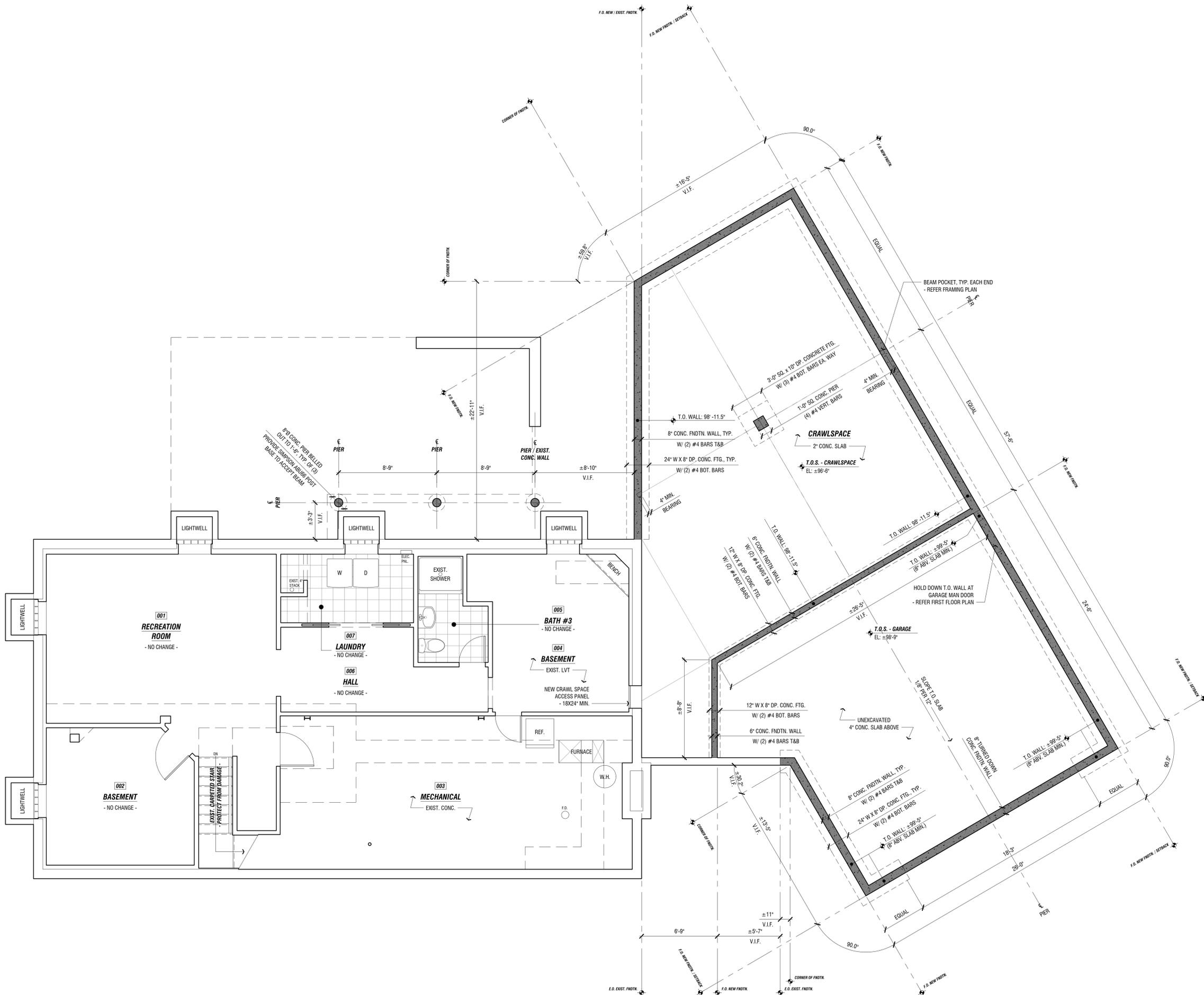
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**FOUNDATION NOTES:**

1. SUPPLY CONDITIONED AIR TO THE CRAWLSPACE PER R408.3 - UNVENTED CRAWLSPACE
2. VERIFY GRADE AND TOP OF FOUNDATION WALL WITH ARCHITECT IN FIELD PRIOR TO FOUNDATION LAYOUT.
3. PATCH / REPAIR EXIST. CONC. FOUNDATION WALLS AS REQ'D.
4. VERIFY PIER SPACING WITH ARCHITECT IN FIELD.

**DRAWING KEY:**

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- CAST-IN-PLACE CONC. CONSTRUCTION
- FIRE-RATED CONSTRUCTION



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CLIENT

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PROJECT

**Residential Addition**  
 1 Armstrong Drive  
 Glendale  
 Missouri, 63122  
 Project #: 2213

SEAL

Aaron Serna, Architect - MO# A2014015044

ISSUE DATE

13 SEPT 2023

REVISIONS

Number	Description	Date
01	ARB SET	13 SEPT 2023

TITLE

**BASEMENT / FOUNDATION PLAN**

SHEET

**A-1.1**

REVISION

**01**

SHEET SIZE

24" X 36"

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**FIRST FLOOR NOTES:**

1. SHORE EXIST. ROOF / CEILING THROUGHOUT THRU DURATION OF WORK. SECURE OPENINGS THRU DURATION OF WORK.
2. CONTRACTOR TO SUBMIT TO ARCHITECT FOR APPROVAL HVAC LOCATIONS & DUCTING SCHEMATICS PRIOR TO INSTALLATION.
3. VERIFY GRADE AND TOP OF FOUNDATION WALL WITH ARCHITECT IN FIELD PRIOR TO FOUNDATION LAYOUT. REFER BASEMENT / FOUNDATION PLAN FOR ADDL. INFO.
4. DAYLIGHT NEW D.S. AWAY FROM BUILDING OR TO SWALE, VERIFY W/ ARCH.
5. PROVIDE NEW BASE & CASING AT ALL AREAS OF NEW HWID. FLOOR. DO NOT REPLACE CASING OR BASE AT BATH #2 & BATH #3. REFER A-3.3 FOR EXTENTS OF BASE REPLACEMENT AT STAIR.

**DRAWING KEY:**

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- CAST-IN-PLACE CONC. CONSTRUCTION
- FIRE-RATED CONSTRUCTION

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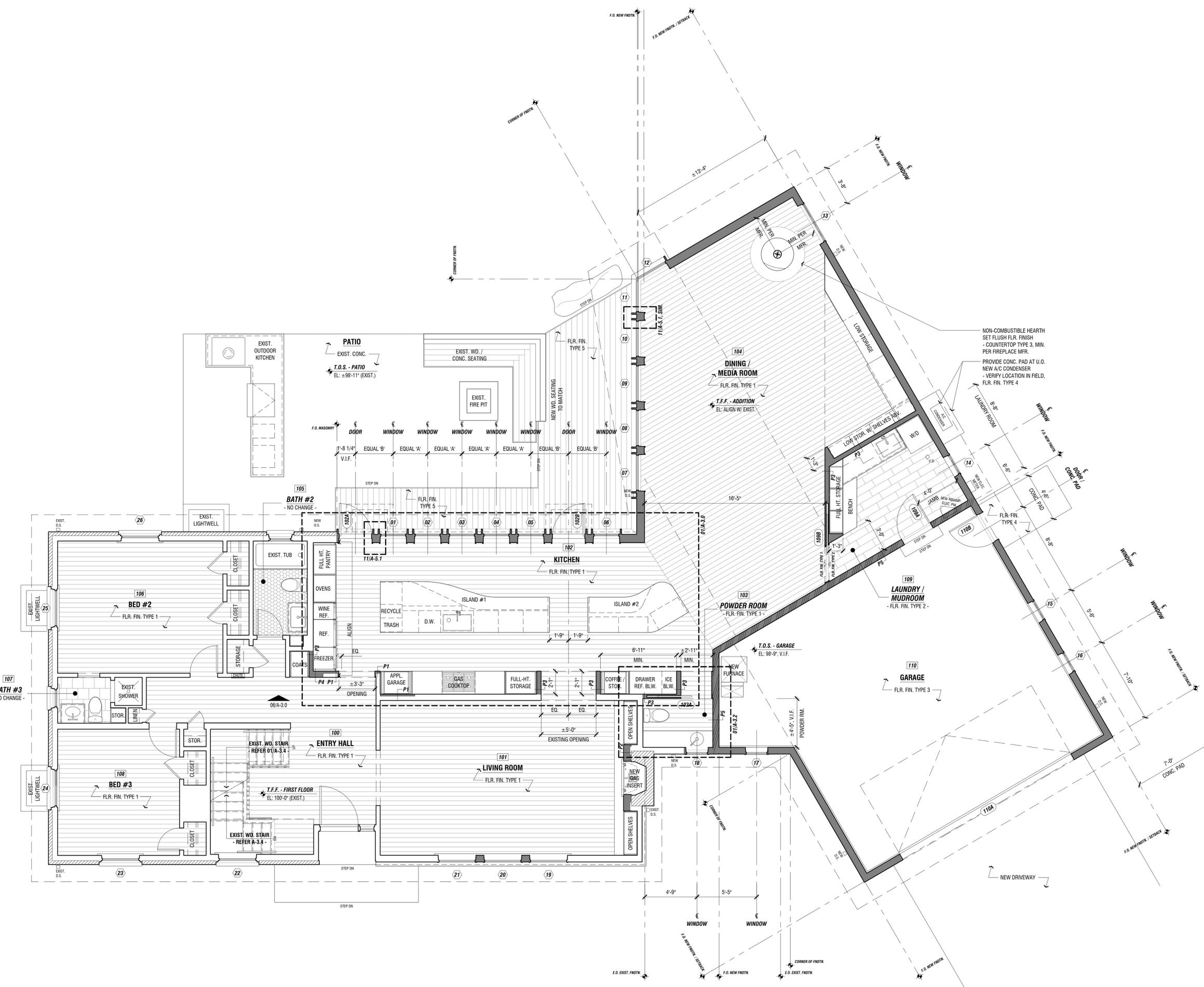
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**FIRST FLOOR PLAN**

SHEET  
**A-1.2**

REVISION  
 01

SHEET SIZE  
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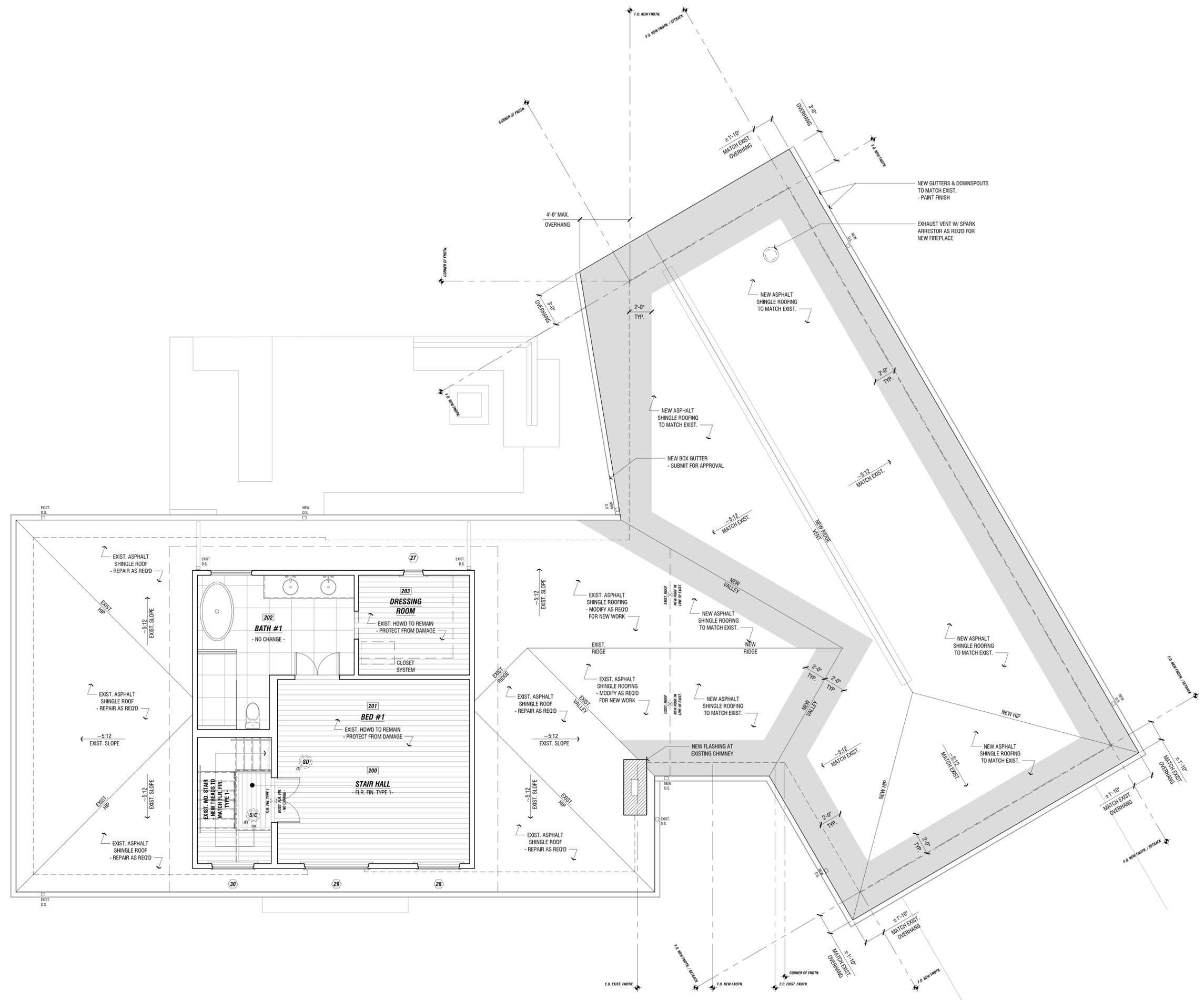


**ROOF NOTES:**

1. REMOVE AND REPLACE EXISTING WOOD SHINGLE ROOF AS REQUIRED FOR INTERSECTING NEW CONSTRUCTION.
2. PROVIDE ICE & WATER SHIELD AS INDICATED ON DRAWINGS & AS REQD BY CODE.
3. DAYLIGHT EXIST. / NEW DOWNSPOUTS AWAY FROM BUILDING. REFER SITE PLAN FOR OUTLET LOCATIONS.
4. PROVIDE GALVANIZED SHT. MTL. DRIP EDGE AT ALL EAVE & RAKE EDGES OF NEW ROOF / ROOFING PER IRC R905.2.8.5.
5. PROVIDE NEW ROOF VENTS AS REQD WHERE REMOVED FOR PARTIAL ROOF DEMOLITION, MATCH EXISTING.

**DRAWING KEY:**

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- CAST-IN-PLACE CONC. CONSTRUCTION
- FIRE-RATED CONSTRUCTION
- ICE & WATER SHIELD



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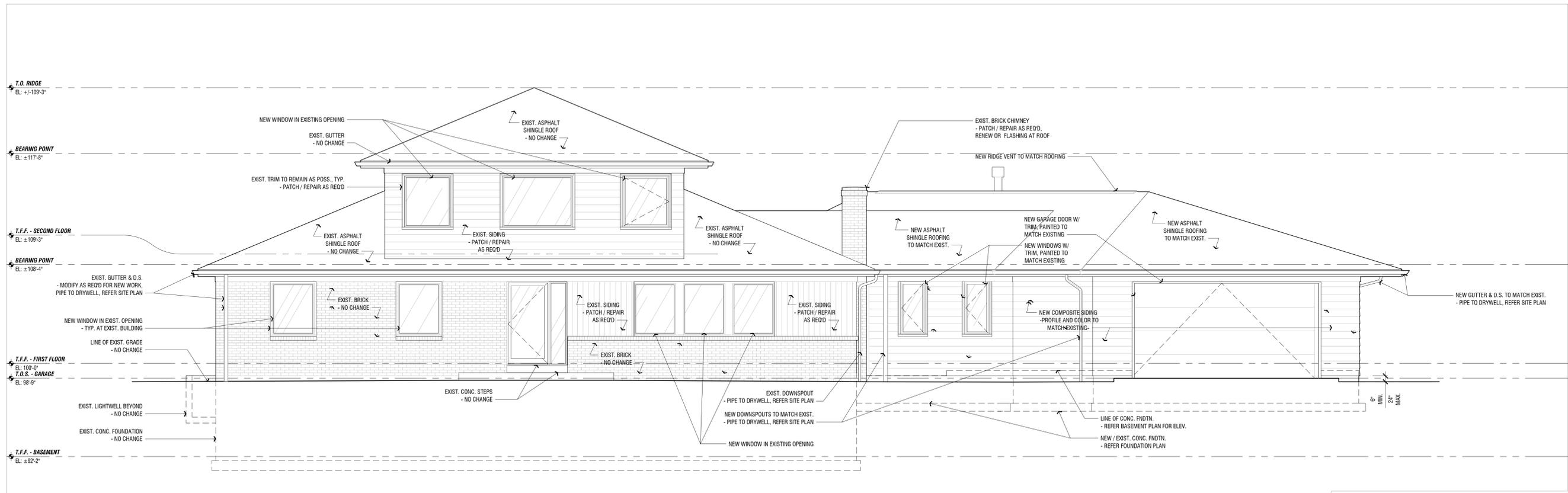
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**TITLE**  
 SECOND FLOOR PLAN

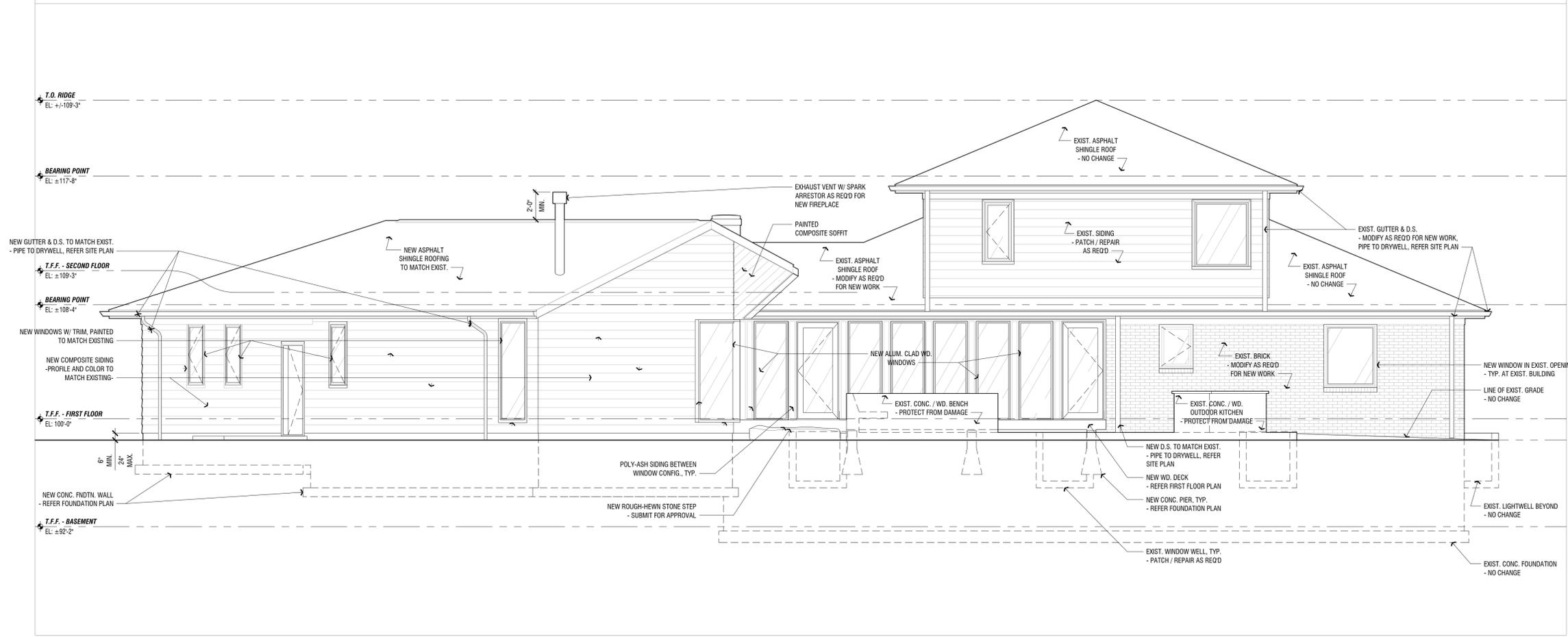
SHEET  
**A-1.3**  
 SHEET SIZE  
 24" X 36"





**01 EAST ELEVATION**

SCALE: 1/4" = 1'-0"



**02 PARTIAL WEST ELEVATION**

SCALE: 1/4" = 1'-0"

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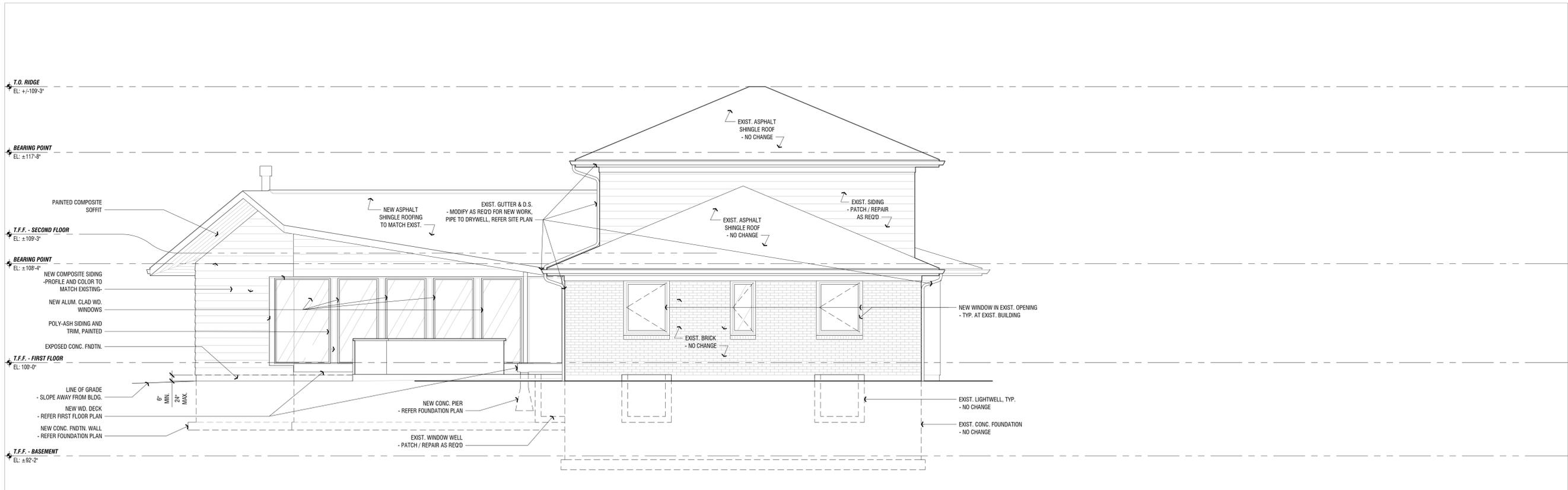
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**EXTERIOR ELEVATIONS**

SHEET  
**A-2.0**

REVISION  
**01**

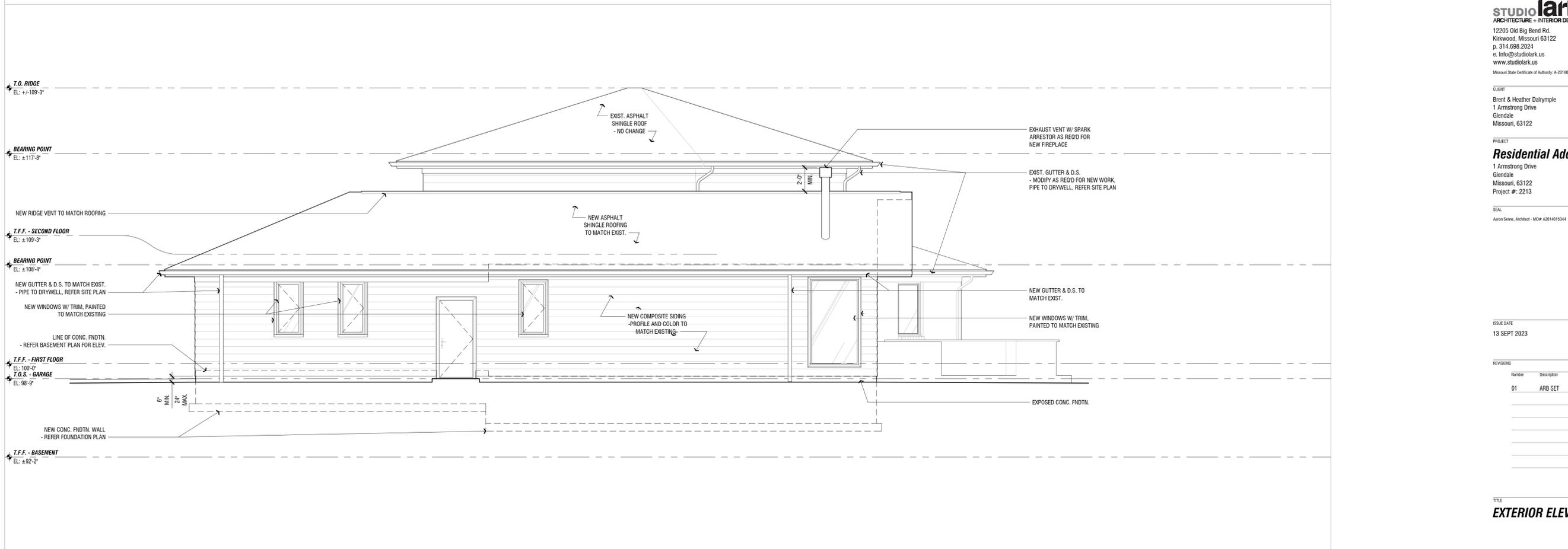
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**01** SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



**02** NORTH ELEVATION

SCALE: 1/4" = 1'-0"

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**EXTERIOR ELEVATIONS**

SHEET  
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REVISION  
**01**

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